



SITE BOUNDARY ADOPTABLE \$104 SURFACE WATER SEWER EXISTING STORM WATER SEWER ----- EXISTING FOUL WATER SEWER

status: PLANNING client: Bellway Scots Lane, Coundon

title: Location Plan

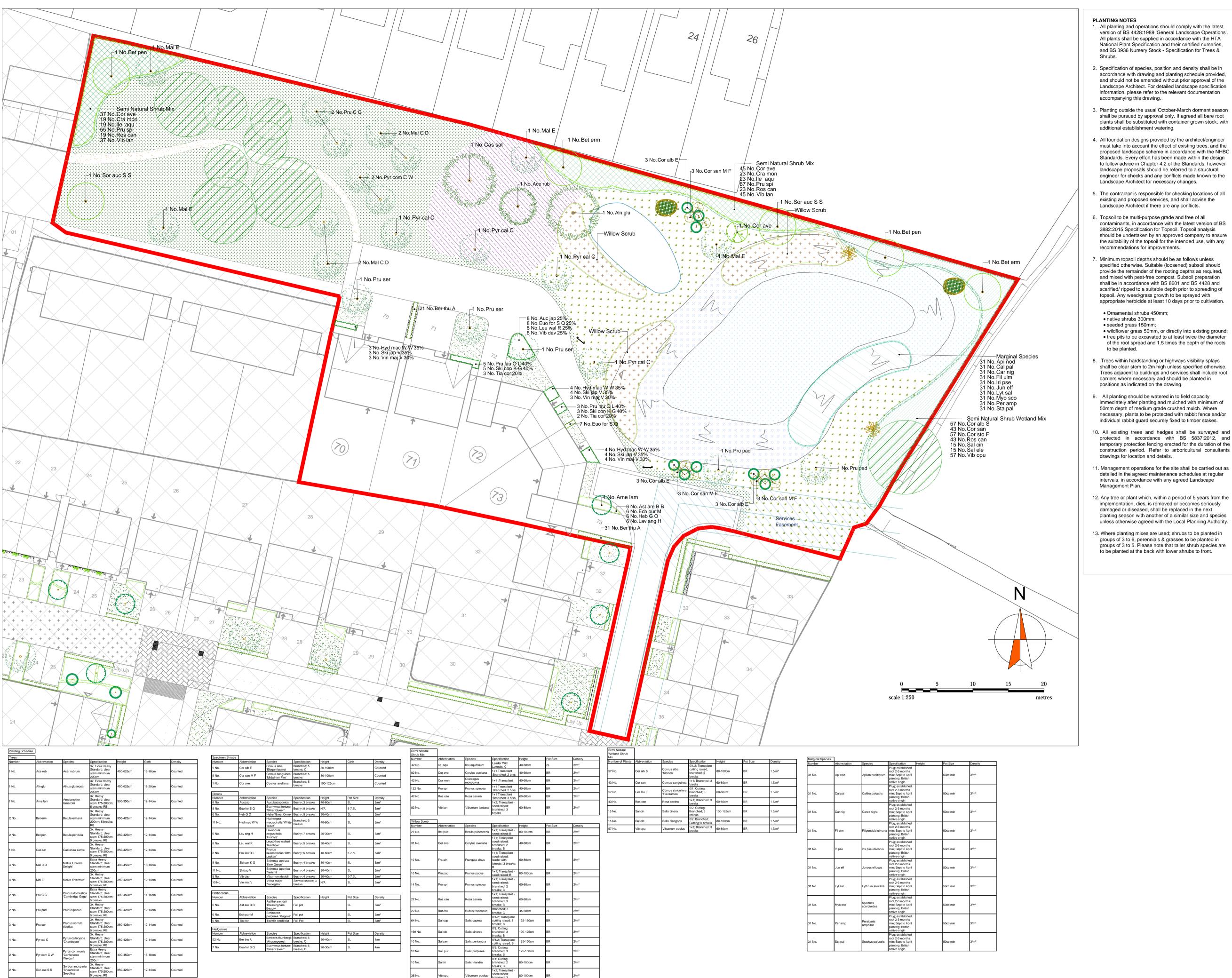
checked: RGE

date: 29.10.18 drawn: RGE

scale @ a1: 1:1250

drg no: P1001 - Rev A job no: **C3403** 





PLANTING NOTES

1. All planting and operations should comply with the latest version of BS 4428:1989 'General Landscape Operations'. All plants shall be supplied in accordance with the HTA National Plant Specification and their certified nurseries, and BS 3936 Nursery Stock - Specification for Trees &

- 2. Specification of species, position and density shall be in accordance with drawing and planting schedule provided, and should not be amended without prior approval of the Landscape Architect. For detailed landscape specification information, please refer to the relevant documentation accompanying this drawing.
- 3. Planting outside the usual October-March dormant season shall be pursued by approval only. If agreed all bare root plants shall be substituted with container grown stock, with additional establishment watering.
- 4. All foundation designs provided by the architect/engineer must take into account the effect of existing trees, and the proposed landscape scheme in accordance with the NHBC Standards. Every effort has been made within the design to follow advice in Chapter 4.2 of the Standards, however landscape proposals should be referred to a structural engineer for checks and any conflicts made known to the Landscape Architect for necessary changes.
- 5. The contractor is responsible for checking locations of all existing and proposed services, and shall advise the Landscape Architect if there are any conflicts.
- 6. Topsoil to be multi-purpose grade and free of all contaminants, in accordance with the latest version of BS 3882:2015 Specification for Topsoil. Topsoil analysis should be undertaken by an approved company to ensure the suitability of the topsoil for the intended use, with any recommendations for improvements.
- 7. Minimum topsoil depths should be as follows unless specified otherwise. Suitable (loosened) subsoil should provide the remainder of the rooting depths as required, and mixed with peat-free compost. Subsoil preparation shall be in accordance with BS 8601 and BS 4428 and scarified/ ripped to a suitable depth prior to spreading of topsoil. Any weed/grass growth to be sprayed with appropriate herbicide at least 10 days prior to cultivation.
- native shrubs 300mm; seeded grass 150mm; wildflower grass 50mm, or directly into existing ground; • tree pits to be excavated to at least twice the diameter of the root spread and 1.5 times the depth of the roots to be planted.
- shall be clear stem to 2m high unless specified otherwise. Trees adjacent to buildings and services shall include root barriers where necessary and should be planted in positions as indicated on the drawing.
- 9. All planting should be watered in to field capacity immediately after planting and mulched with minimum of 50mm depth of medium grade crushed mulch. Where necessary, plants to be protected with rabbit fence and/or individual rabbit guard securely fixed to timber stakes.
- protected in accordance with BS 5837:2012, and temporary protection fencing erected for the duration of the construction period. Refer to arboricultural consultants drawings for location and details.
- detailed in the agreed maintenance schedules at regular intervals, in accordance with any agreed Landscape Management Plan.
- implementation, dies, is removed or becomes seriously damaged or diseased, shall be replaced in the next planting season with another of a similar size and species unless otherwise agreed with the Local Planning Authority.
- 13. Where planting mixes are used; shrubs to be planted in groups of 3 to 6, perennials & grasses to be planted in groups of 3 to 5. Please note that taller shrub species are to be planted at the back with lower shrubs to front.

© this drawing and the building works depicted are the copyright of **idp** and may not be reproduced or amended except by written permission. no liability will be accepted for amendments made by other persons.

all dimensions to be checked on site and landscape architect notified of any discrepancies prior to commencement. do not scale.

Site Boundary

Existing vegetation to be retained & protected (in accordance with BS5837:2012)

Proposed tree (refer to schedule for species & specification)

Specified shrub planting (refer to schedule for species & specification

Semi natural shrub mix (refer to schedule for species mix)

Semi natural wetland shrub mix (refer to schedule for species mix)

Selected feature shrubs (refer to schedule for species & specification)

Climbing plant & trellis

Clipped hedgerow

Amenity turf grass

sowing rate 5g m2 with EG22 Strong Lawn grass mixture - sowing rate 10g Proposed wildflower mix Emorsgate EM2 – Standard general purpose meadow mixture 4g/m2

Flowering lawn mix: Emorsgate EL1 Flowering lawn mixture

Proposed tussock grassland Emorsgate EM10 – Tussock grass mixture 4g/m2

Wild flower mix Emorsgate EM8F Wild flowers for wetlands

Wet grassland mix

Willow Scrub Mix

Areas of gravel

(refer to FPCR drawing: Habitat creation restoration and enhancement plan dwg no. Fig E3.1 for details) Hibernacula with scrub planting on top

GCN Interpretation Board (refer to FPCR drawing: Habitat creation restorati enhancement plan dwg no. Fig E3.1 for details)



rev. date: comment(s):

ARCHITECTS. URBAN DESIGNERS.

PLANNERS. PROJECT MANAGERS. LANDSCAPE ARCHITECTS.

drawn: check:

WE ARE IDP.

**IDP LANDSCAPE** 

client: Bellway

Scots Lane, Coundon Plots 70-73

Detailed Landscape Proposals

drawn: GC

date: November 2018

checked: EC

drg no: 002

scale @ a1:1:250

IDP GROUP 27 SPON STREET COVENTRY CV1 3BA T: **+44 (0)24 7652 7600** E:info@idpgroup.com

www.weareidp.com

job no: LA3658



Site Boundary

Street trees

Specimen feature trees



Native planting



Wildflower meadow

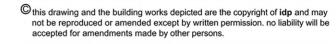
Pond Basin

- Retained Trees Hibernacula
- Log Piles 3- Retained existing trees
  - 4- Architectural trees define residential edge
  - 5 Existing pond with ecological

1- Informal path through POS

2- Community orchard

- enhancements
- 6- Proposed basin with willow scrub planting
- 7- Retained mature focal tree



all dimensions to be checked on site and landscape architect notified of any discrepancies prior to commencement.

do not scale.











ARCHITECTS.

URBAN DESIGNERS.

PROJECT MANAGERS.



## IDP LANDSCAPE

client: Bellway

job: Scots Lane, Coundon Plots 70-73

title: Landscape Strategy

drawn: GC date: NOV 2018

scale @A2: 1:500 checked: EC

job no: LA3658 drg no: 001

IDP GROUP 27 SPON STREET COVENTRY CV1 3BA T: +44 (0)24 7652 7600 E:info@idpgroup.com

www.weareidp.com



SCOTS LANE PLOT 73 AND 72 AU ELEVATIONS



SCOTS LANE PLOT 73 AND 72 ELEVATIONS

