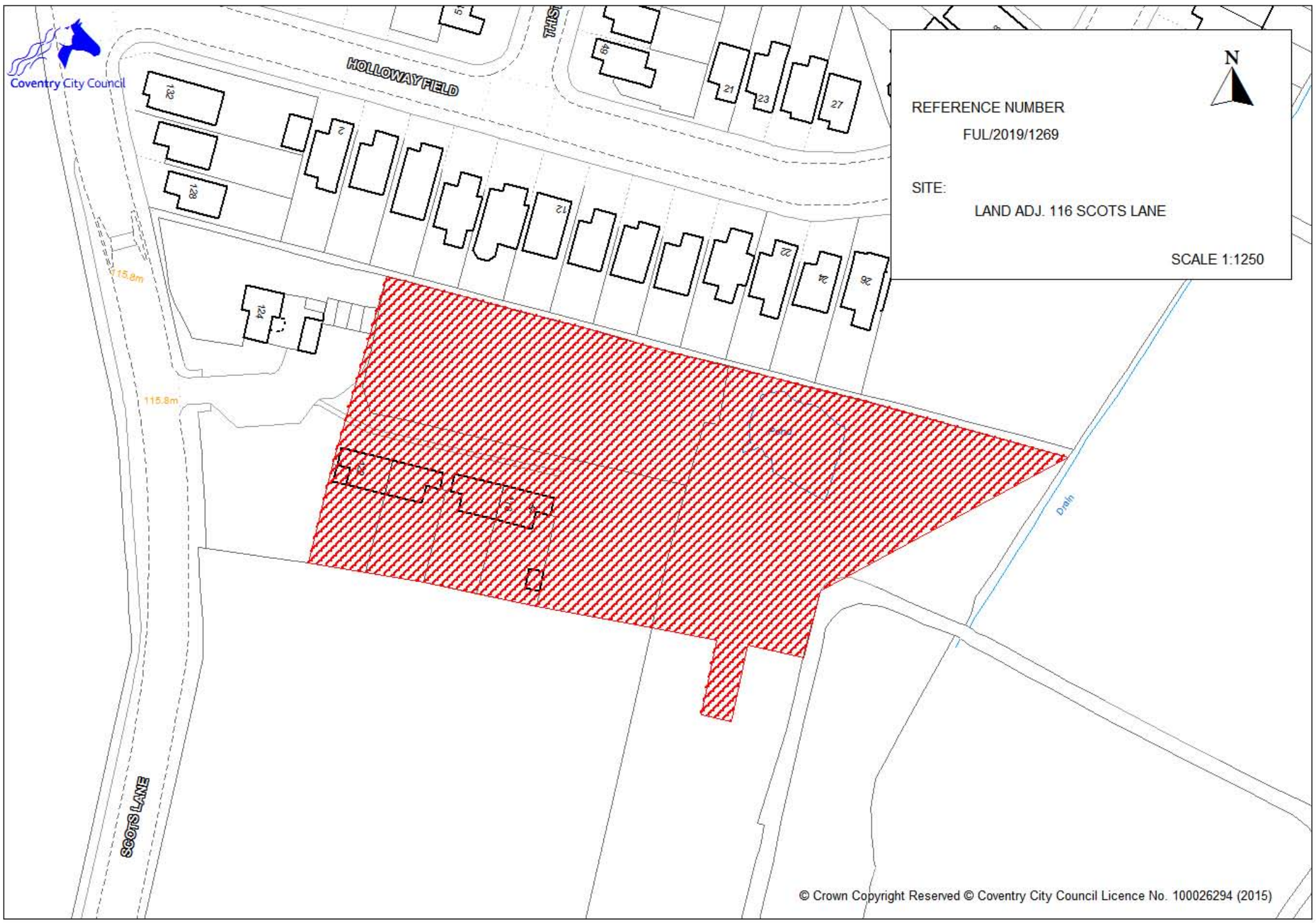


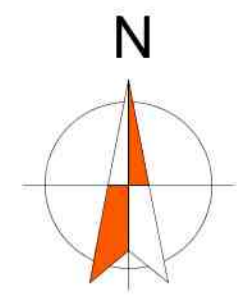


REFERENCE NUMBER
FUL/2019/1269

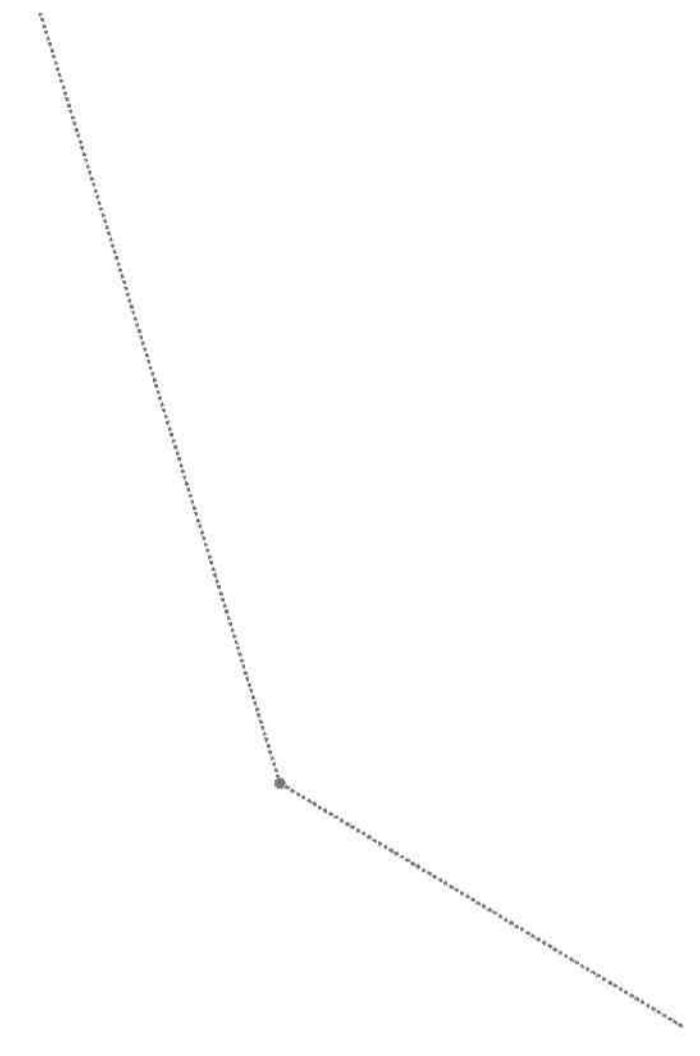
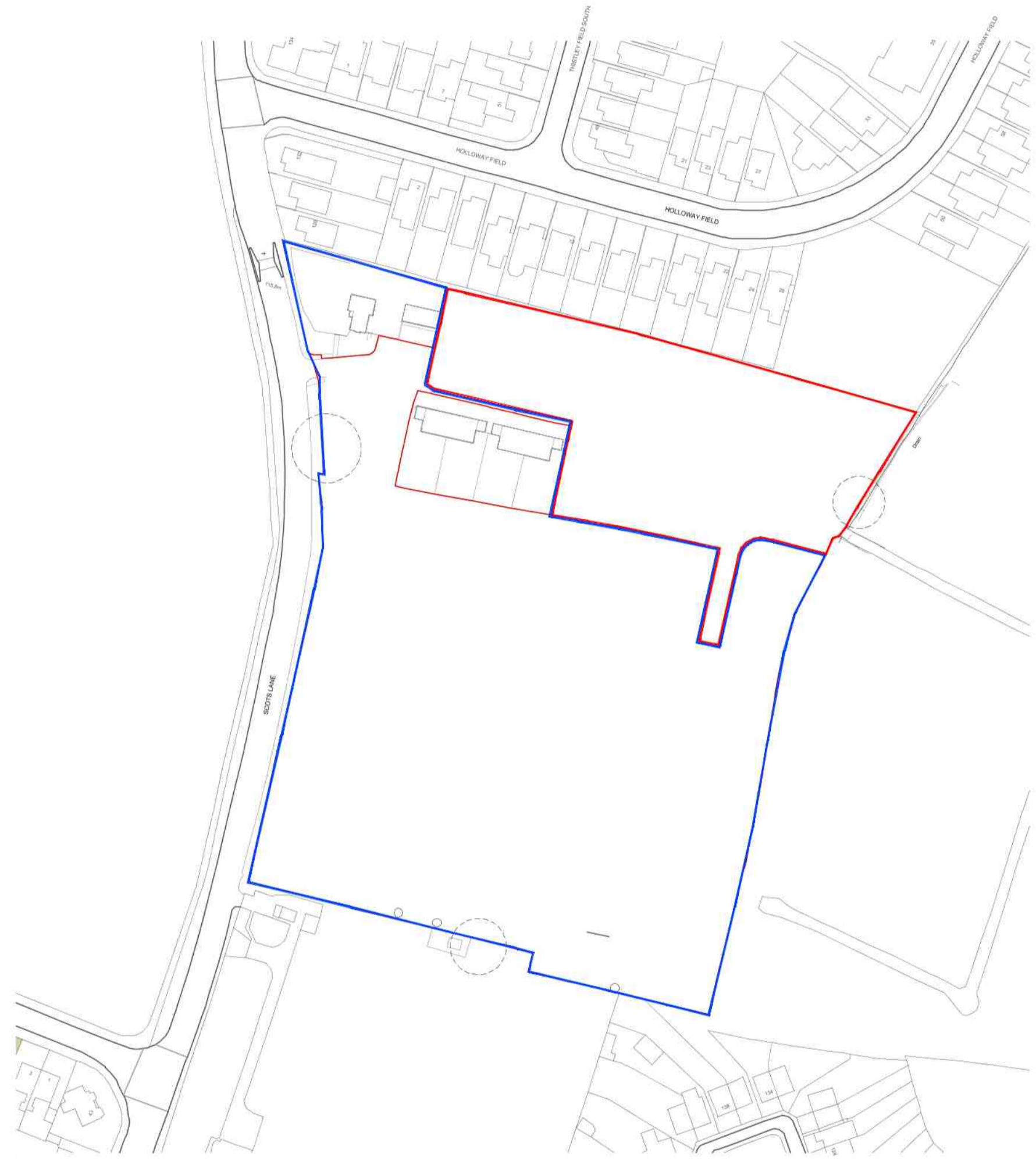
SITE:
LAND ADJ. 116 SCOTS LANE

SCALE 1:1250



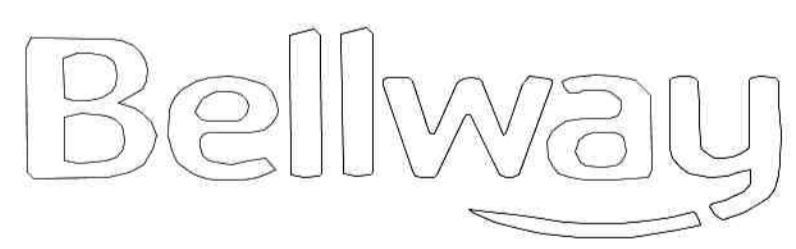
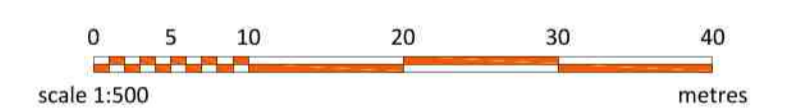


4 DWELLINGS - SCOTS LANE, COUNDON



- KEY**
- SITE BOUNDARY
 - ADOPTABLE 614 SURFACE WATER SEWER
 - ADOPTABLE 614 FOGG WATER SEWER
 - - - EXISTING STORM WATER SEWER
 - - - EXISTING FOGG WATER SEWER
 - EXISTING COMBINED WATER SEWER
 - SURFACE WATER HEADWALL
 - - - GULLY AND CONNECTION
 - - - DRAINAGE EASEMENT
 - - - PROPOSED FLOOR LEVEL
 - - - BANKING
 - SURFACE WATER FLOODING GENERATED DURING THE 61 YEAR CRITICAL RETURN PERIOD FLOOD WATER TO BE CONFINED WITHIN THE CARAVANWAY AND BE ENTERED VIA GULLIES AS INDICATED WITH ARROW
 - SURFACE WATER FLOODING GENERATED DURING THE 10 YEAR CRITICAL RETURN PERIOD FLOOD WATER TO BE CONFINED WITHIN THE CARAVANWAY AND BE ENTERED VIA GULLIES AS INDICATED WITH ARROW
 - SURFACE WATER FLOODING GENERATED DURING THE 10 YEAR CRITICAL RETURN PERIOD FLOOD WATER TO BE CONFINED WITHIN THE CARAVANWAY AND BE ENTERED VIA GULLIES AS INDICATED WITH ARROW

notes:



status: **PLANNING**

client: **Bellway**

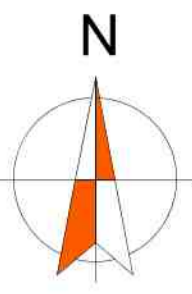
job: **Scots Lane, Coundon**

title: **Location Plan**

drawn: **RGE** date: **29.10.18**

checked: **RGE** scale @ a1: **1:1250**

job no: **C3403** drg no: **P1001 - Rev A**



4 DWELLINGS - SCOTS LANE, COUNDON



LAYOUT PLAN



BLOCK PLAN - PLOTS 72 AND 73 WITH ATTACHED GARAGES



PROPOSED LANDSCAPE PLAN

notes:

HOUSE TYPE MIX:
2 x Cutler 4 bed house 1335 sqft




Front Elevation

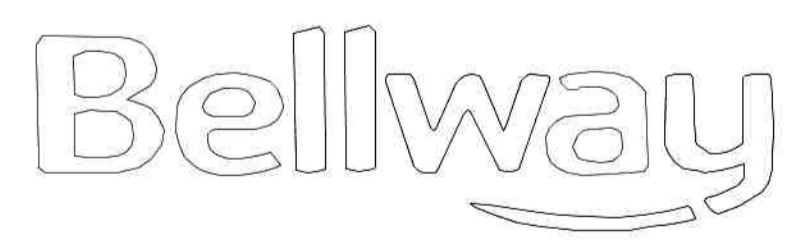
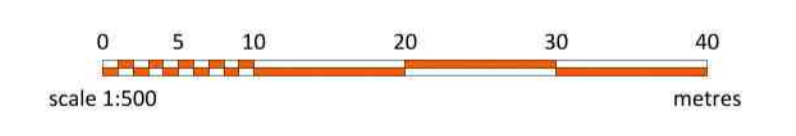
2 x Tanner 4 bed house 1019 sqft



Front Elevation

Electric charging point supplied to all four garages.

 = Extent of adopted highway



status: **PLANNING**

client: Bellway

job: Scots Lane, Coundon

title: Boundary and Layout Plan

drawn: RGE date: 29.10.18

checked: RGE scale @ a1: 1:500/1:100

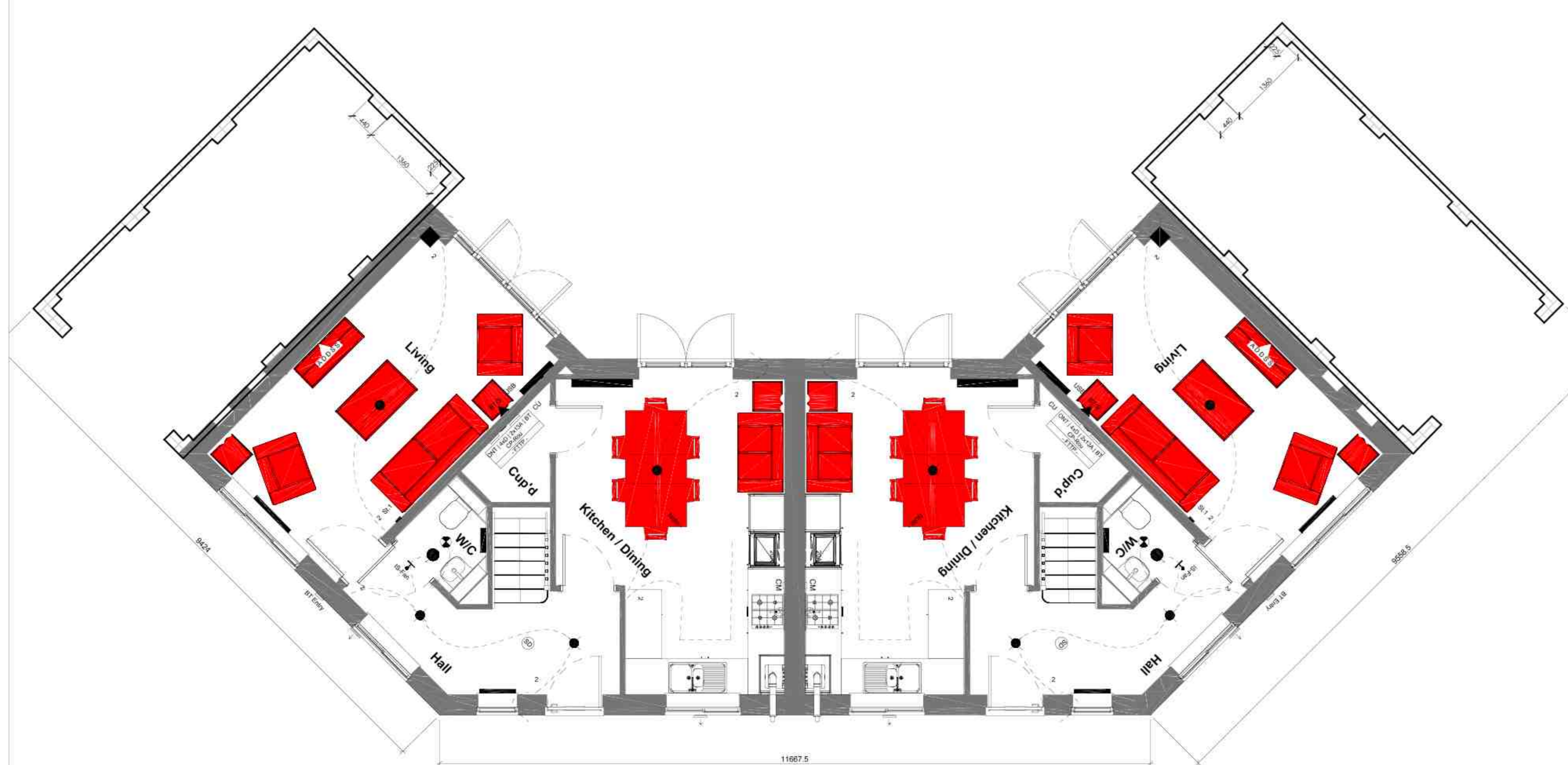
job no: C3403 drg no: P1001 - Rev C



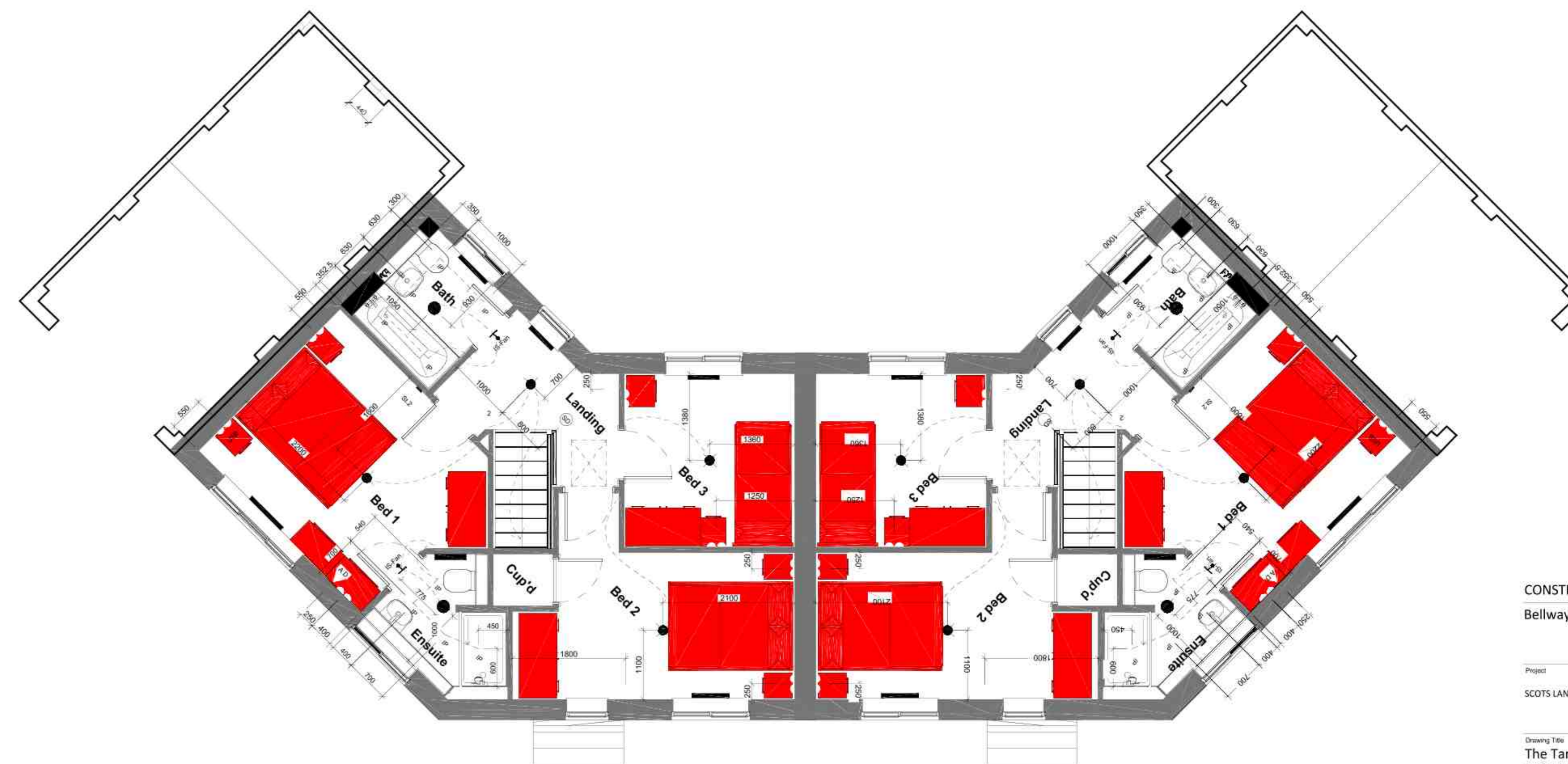
SCOTS LANE PLOT 73 AND 72 ALL ELEVATIONS



SCOTS LANE PLOT 73 AND 72 ELEVATIONS



SCOTS LANE PLOT 73 AND 72 GROUND FLOOR PLANS



SCOTS LANE PLOT 73 AND 72 FIRST FLOOR PLANS

CONSTRUCTION
Bellway Group Technical

Project
SCOTS LANE - FLOOR PLANS AND ELEVATIONS

Drawn by
The Tanner
SCOTS LANE - FLOOR PLANS AND ELEVATIONS

Drawn By	Project Name	Scale
DCL	SCOTS LANE	1:50
Job No.	Drawn Date	Revision
60613	19/07/2019	1
Drawn No.	Project No.	Sheet No.
	SCOTS LANE/1019/25/CB/04	